



**Ashfield  
Council**

# Interim Development Assessment Policy 2013

## Part C1

### Access and Mobility

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**PART C1  
ACCESS AND MOBILITY**

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**SECTION 1 PRELIMINARY****Introduction**

Ashfield Local Environmental Plan (LEP) 2013 is Council's main planning control for development in the Ashfield Council Local Government Area..

**Part C1** of Ashfield Development Interim Assessment Policy 2013 supports Ashfield LEP 2013 by providing additional objectives and development standards to improve Access and Mobility within all properties in Ashfield

**Part C1** of Ashfield Interim Development Assessment Policy 2013 applies to all land in the Ashfield Council Local Government Area.. It applies to all new development, existing buildings undergoing significant alteration/extension and certain changes of use. It applies to all types of buildings with the exception of single dwelling houses and dual occupancy development.

**Objectives**

The objectives of Part C1 of Ashfield Interim Development Assessment Policy 2013 are:

- (a) To improve access to and mobility within, all properties within Ashfield.
- (b) To establish standards for Council's assessment of the provision of access to all new buildings, services and places.
- (c) To encourage upgrading of existing buildings to provide access for all people.
- (d) To ensure that the range of housing opportunities available for people with disabilities or other special mobility needs is representative of the local population in terms of access, size, location, orientation and general amenity of accommodation.
- (e) To provide additional and specific guidelines for residential building types.

**How to use this Part of Ashfield Interim Development Assessment Policy 2013**

Ashfield Interim Development Assessment Policy 2013 is a multi-layered document. The objectives and development standards of this Part of Ashfield Interim Development Assessment Policy 2013 cannot be read in isolation. A development application must consider all relevant Parts of Ashfield Interim Development Assessment Policy 2013.

Part A contains an index of the parts and sections in the Ashfield Interim Development Assessment Policy 2013 and guidelines on how to use the Policy; including the steps you need to follow before you prepare your development application.

**Relationship of Part C1 to other planning documents**

Council will assess a development application according to:

Section 79C of the Environmental Planning and Assessment Act, 1979;

- (b) State Environmental Planning Policies;
- (c) Ashfield Local Environmental Plan 2013;
- (d) Ashfield Interim Development Assessment Policy 2013;
- (e) Section 94 Contribution Plans;
- (f) Ashfield Stormwater Management Code;
- (g) Policies, legislation or studies adopted or recognised by Council that are relevant to the development application.

**Lodging a Development Application**

Our development application forms can be downloaded ([www.ashfield.nsw.gov.au](http://www.ashfield.nsw.gov.au)) or contact Council on 9716 1800. The form contains a self-assessment checklist to help you complete your application.

You should also check whether your proposal is 'exempt' (no application required) or is a 'complying development' (can be certified by Council or a private certifier).

**Note:** If you are proposing a major or complex development or if your proposal is likely to have significant heritage impacts, you should make an appointment to see our pre-lodgement development advisory panel or use our heritage advisory service before you lodge your development application. Call Council on 9716 1800.

**When do I have to provide access?**

This Interim Development Assessment Policy applies to development applications for specific new work generally where the BCA does not apply. The Policy-applies to both residential (other than single dwellings and dual occupancies) and non-residential properties.

**Definitions**

**Accessible** means complying with the provisions of Australian Standard 1428 Parts 1 and 4 "Design for Access & Mobility" so that most people with disabilities can enter and use the premises and their facilities.

**Adaptable Housing** means works, which is in addition to that required under "Universal Accessible Design", in order to be able to bring a dwelling to a condition which suits the specific needs of a person with disabilities, being the occupant, and which fully complies with the relevant Australian Standard 4229-1995.

**Adaptable Housing Construction Stage** - The point where a dwelling contains all fixtures and apartment layouts which meets the relevant Australian Standard, and which suits the specific needs of the occupant, -who is a person with disabilities.

**Continuous accessible path of travel** means an uninterrupted route to or within premises or buildings and providing access to all services and facilities. It should not contain any step, stairway, turnstile, revolving door, escalator, hazard or other impediment which would prevent it being safely negotiated by people with disabilities.

**Clear Finished Dimensions** - The final position of building elements such as walls after having allowed for building construction tolerance, wall finishes, and any wall attachments, in order to accurately show dimensions on drawings which reflect later stages of building construction.

**Common Areas** - Public areas such as access walkways, communal gardens, car parking areas, clothes drying areas.

**Ground level dwelling** means a dwelling located within 1.5 metres height from the street footpath.

**Stormwater Flood Level** - The level required above natural ground level so as to make the ground floor clear from stormwater flooding.

**Structural Alteration** means works that require alteration to load bearing components of a building.

**Structural Walls** - Walls which are load bearing and cannot be removed or altered.

**Universal Accessible Design** means a design that is usable by all people (especially people with disability and frail older people) by meeting the seven performance criteria of universal housing design, generally based on the Australian Network for Universal Housing Design (<http://www.anuhd.org>), which are:

1. There is a clearly discernible accessible path of travel from the front boundary or car park and throughout the entry level of the dwelling.
2. The entry level has a living and food preparation area, bathroom, WC (toilet) and bedroom, which have room areas large enough so that they can be used by a person in a wheelchair.
3. All rooms, when furnished or fitted out, allow for adequate circulation space for a person using a wheelchair.
4. All doorways and corridors are wide enough to allow a person using a wheelchair to manoeuvre into and out of rooms.
5. Door furniture, switches, controls and outlets are within reach of and can be used by all.
6. There is potential for future adaptation to a dwelling with two or more levels for vertical access by a person using a wheelchair, such as having wider stairways that are capable of having a stair lift.

7. Walls and ceilings are reinforced where assistive devices may be attached where access is required to another habitable level.

## **SECTION 2 MULTI UNIT RESIDENTIAL DEVELOPMENT**

### **Universal Accessible Design for Multi Unit dwellings, including residential flat buildings, townhouses, villas and low-rise flats.**

2.1 Section 2 applies to the following development:

- (i) Residential flat buildings and multi- dwelling housing within the R3 Medium Density Residential Zone which includes villas, townhouses and also apartment buildings up to 3 storeys.
- (ii) Residential flat buildings, Shop Top Housing and multi-dwelling within the B4 Mixed Use Zone and B2 Local Centre Zone.

### **Objectives**

2.2 The objectives of this Section are:

- (a) As part of Council's Residential Strategy to address the mobility/living requirements of an ageing population and the needs of people with disabilities including people who use wheelchairs.
- (b) To provide an adequate amount of new dwelling stock capable of use by people with disabilities by maximising the amount of dwellings which have universal accessible design features .
- (c) To use *Universal Accessible Design* principles for defining the minimum level of internal design and fit out of dwellings, in order to ensure satisfactory construction outcomes which reflect the intent of the Development Approval.
- (d) To allow flexibility in the interpretation of the requirements of this Policy.

2.3 Universal Accessible Design requirements apply to the following:

- (i) Villas and Townhouses, being dwellings which are one, two or three storeys, within R3 Medium Density Residential Zone where each dwelling has its own ground level entry and private open space, must have all dwellings complying with universal accessible design principles as required by "**Design Checklist 1**" in Section 6 of this Part.
- (ii) "Low Rise" Flats without lifts, , being residential flat buildings in the R3 Medium Density Residential Zone which are one, two or three storeys, must have all their ground level apartments complying with universal accessible design principles as required by "**Design Checklist 1**" in Section 6 of this Part.

- (iii) Residential flat buildings or shop top housing, higher than 3 storeys with lifts, which may or may not be part of a “mixed development”, must have all their apartments complying with universal accessible design principles as required by “**Design Checklist 2**” in Section 7 of this Part.

### **Mandatory requirement for Adaptable Housing**

2.4 In addition to complying with Universal Accessible Design requirements, a minimum ten (10) percent of dwellings on the site (rounded to nearest whole number) shall also be capable of being “adaptable housing”, which meets the relevant Building Code of Australia and Australian Standards (building design standards) and the unique specialist needs for accessibility and useability by the occupants. At Development Application stage, this can be firstly demonstrated by compliance with clause 2.3, for the reasons explained below. Secondly, this can be demonstrated by production of a design of the typical UAD apartment, or a design of all typical UAD apartment types, which shows how they can be “adapted” in the future.

Q. ‘Why do I have to provide Universal Accessible Design when the usual standard is to provide 10% “Adaptable Dwellings”?’

A. Many apartments offered for sale or lease will likely be occupied by persons who do not have disabilities, and those people could choose to buy or lease those apartments identified as ‘adaptable’. This means that ‘adaptable apartments’ may be “removed” from the market, and so any provision for, say 10% of all dwellings to be adaptable to meet the demand for people with disabilities becomes ineffectual. Therefore, to address this:

Clause 2.3 of this Part requires **Universal Accessible Design (UAD)** for particular apartments. The objective is to have apartments spacious enough so as not to require demolition of structural elements such as walls, and to provide a sufficient pool /quantum of suitable apartments that can potentially be used by people with disabilities. For example, people with disabilities should be able to easily reconfigure, or adapt any “UAD” type apartments, without major or impractical structural change, so that specially designed fixtures such as handrails, bench tops, kitchen sinks, or toilet pans, can be installed.

Clause 2.4 is included in this policy to demonstrate that there will always be an adequate supply of apartments that are capable of being reconfigured comply with specific Disability BCA and Australian standards without the need for major structural demolitions, (e.g. structural walls and hallways - usually an unrealistic proposition), and that therefore “10%” of dwellings will be available at any point in time for adaption.

### **Variations to universal accessible design requirements**

- 2.5 Council will consider variations to the number of dwellings required to comply with Clause 2.3, providing there are sound reasons explained and demonstrated for varying the number of units required to have “universal accessible design”, including matters of construction difficulties, functional site layout and building design issues. e.g. there may be sloping sites with steep gradients, or small sites where only a smaller amount of dwellings are able to be physically designed to provide the required access.



**SECTION 3 OTHER RESIDENTIAL BUILDING TYPES**

Refer to relevant SEPP's (State Environmental Planning Policies) for particular requirements for access, and to the Building Code of Australia. For example, the Affordable Housing SEPP and Seniors Living SEPP both have accessibility criteria that need to be met.

**SECTION 4 NON-RESIDENTIAL DEVELOPMENT**

For non - residential development, reference is to be made to the access requirements of the Building Code of Australia (BCA). A brief report should be submitted with the development application explaining that the design is capable of complying with BCA access requirements without the need for future modifications to any development consent.

**SECTION 5 HERITAGE ITEMS AND BUILDINGS WITHIN HERITAGE CONSERVATION AREAS****Access to buildings of heritage significance.**

- 5.1 The provision of access to Heritage Items and buildings within Heritage Conservation Areas is required in the same way as to other buildings. However, it is important that access to areas of these buildings must be done with sensitivity and with no adverse impact on the significance of the item or area. If possible, it should be reversible.

It may be necessary to explore alternative ways of providing access that will not affect the heritage significance of the property or area. An example of this is the provision of an access ramp to a structure with heritage significance. A common proposal is to provide a concrete ramp abutting the building. This would be likely to cause damage to the original fabric and detract from any aesthetic significance. A free-standing ramp made of timber (with durable footings) which abuts the door opening only would be less intrusive, fully reversible and more likely to be a sympathetic solution.

Removal of or damage to traditional features such as ingos and thresholds to shops is not supported, particularly in the Haberfield, Summer Hill and Croydon shopping centres. The provision of access to these shops can be difficult without destroying the original fabric. One option (depending on the relative levels) may be to provide a stable portable ramp which is not affixed to the step and can be easily removed without damage.

If the levels are such that a longer ramp is required it may be possible to provide a ramp which protrudes into the footpath area providing that it is properly designed and sufficient clear footpath width is still available. In such cases, the applicant will need to speak to Council officers. Innovative solutions that do not damage fabric and still provide access for people with disabilities are encouraged.

### **Exemptions for buildings of heritage significance**

- 5.2 The provisions of this Part may be varied if it is not possible to provide access without affecting the heritage significance of a property or area and compliance is achieved with all Building Code of Australia requirements. The consideration of an application for exemption under this provision must include the following:
- (a) a Statement of Heritage Significance describing the significance of the item or place and;
  - (b) a detailed description of the impact of providing access options on this significance.
  - (b) why it can be cited as "unjustifiable hardship" if an appeal is lodged under the disability discrimination act

**SECTION 6 DESIGN GUIDELINES CHECKLIST 1 – VILLAS, TOWN HOUSES AND LOW RISE FLATS (UP TO 3 STOREYS)****Scope**

6.1 Design Checklist 1 applies to:

Villas/Townhouses: These are dwellings which are one, two or three storeys, each dwelling having its own private open space and ground floor entry.

“Low Rise” Flats: These are flat buildings that are one, two or three storeys.

This part shall be read in conjunction with Diagram 1 and Diagram 2.

**Universal Accessible Design**

6.2 All buildings referred to in clause 6.1 of this Part, shall be “accessible” as required in the Building Code of Australia and in addition have a universal accessible design for the interior design of the dwellings that meets the requirements of Section 6 of this Part.

**Construction**

6.3 In order to achieve an “implementation principle”, that considers design issues at Development Application stage in sufficient detail to ensure that at construction certificate stage and during construction compliance is achieved, the following is required:

- (a) All designs must show internal dimensions which show the line of finished surfaces, with dimensions that have taken into account building construction tolerances and finishes to walls and other structural elements. This will require showing dimensioning on plans that goes beyond the minimum Australian Standards, and take into account practical constructional and circulation matters.
- (b) All designs must show the general location of structural walls able to take future fittings, including but not limited to:
  - Shower and toilet grab rails;
  - Stair lift/inclinators.
- (c) All designs must show the location of non-structural walls that are removable for the purpose of creating future adaptable housing. They must also show the location of structural beams and headroom clearances.
- (d) Council will apply conditions as required to a development consent to require compliance with the clauses(a) (b) and (c), in order to have sufficient detail documented at construction certificate stage, and so have the works constructed as depicted.

**Access from street to dwelling entry**

- 6.4 In order to achieve a “visitability principle”, of equitable access from the street into the entry area of each townhouse and to all common areas by a person with a disability the proposal shall show that the requirements of the Building Code of Australia can be satisfied, and include consideration of the following;
- (a) The topography of the land shall be formed so that no point on the site which is required to be accessible shall be at a gradient steeper than 1:14.
  - (b) Minimum 1.2m wide pathways provided from the street not exceeding a gradient of 1:14 continuing to the entry door of each ground level dwelling on the site. The entry door’s threshold shall be flush with the external path.
  - (c) Floor levels of dwellings coordinated and determined so as to be above “stormwater flood level” and shall be shown on a site plan.
  - (d) Concept plan provided showing the location of lighting, type of lighting, and illumination levels.
  - (e) If an entry to the site is secured, e.g. a “gated development”, an intercom shall be provided on the site to allow visitors to enter the property, and the location and details of the intercom shall be shown or referenced on the plans.

**Interior Dwelling Design**

- 6.5 In order to achieve Council's “interior design principles” for universal accessible design which minimises the need for future major internal structural alterations, the following is required:
- (a) There shall be a continuous path of travel from the entrance to the living area, dining area, kitchen, laundry, bathroom and master bedroom, and any doorways shall have 850 mm clear passage width in order for a person in a wheelchair to be able to enter a room.
  - (b) Circulation hallways shall be minimum clear finished dimension width of 1.2m wide, which takes into account wall finishes and building tolerances.
  - (c) Where stairways are required to take a stair lift/inclinorator, they shall be a minimum clear finished dimension width of 1.5m, which takes into account wall finishes and building tolerances, as well as structural wall locations.
  - (d) Floor levels shall be shown on plan which show the floor level of the interior of the dwelling and also the level of any balcony or verandah, and that the level difference is small enough so as to be able to accommodate a device that allows access to external space by a person in a wheelchair.
  - (e) Minimum room dimensions shall be as follows:  
  
Master Bedroom: This shall be large enough to occupy a queen size bed and have circulation around the bed of a minimum of 1.2 metres in width, and clear turning space of 2070mm x 1540 mm after placement of wardrobes and dressing table.

Kitchen	This shall be large enough to contain all necessary appliances and have a clear finished width between cabinets and furniture of 1.550m.
Living Room	This shall be large enough to allow a circulation space of 2.250m diameter to allow a 360-degree turn by a wheelchair user after furniture is in place
Bathroom	This shall be large enough to allow circulation space by a wheelchair user after fixtures and furniture is in place, and with the shower being hobless.
Laundry	This shall be large enough to allow circulation space by a wheelchair user after fixtures and furniture is in place
Combined Bathroom and Laundry	This shall be large enough to allow circulation space by a wheelchair user after fixtures and furniture is in place

- (f) All ground floor levels of townhouses must contain an area which contains a toilet and which is visitable by a person with disabilities.
- (g) The ground level of villas/ townhouses must have an accessible kitchen, and must have accessible lounge/dining areas which are large enough to be usable as a sleeping area for the use of people with disabilities, except as follows:
 

Lounge/dining areas are not required to be useable as a sleeping area where there is a stair of sufficient width to accommodate a stair inclinator to access an upper level, and where an upper level bedroom and bathroom is provided that meets universal accessible design principles.
- (h) Electrical switches and power outlets shall be positioned to be accessible, be of a height range of 900 mm to 1100 mm above floor level, and shown a plan.

### **Access to Private Open Space**

- 6.6 In order to achieve the “garden access” principle for people with disabilities the following is required:
- (a) Private open space garden dimensions shall be wide enough to be able to accommodate a path accessible by wheelchair users.
  - (b) Garden dimensions shall be wide enough to allow tree planting and also meet the requirements of clause (a).
  - (c) Any balconies or verandahs shall be accessible.

**Access to Car Parking**

- 6.7 In order to achieve equitable access to car parking for people with disabilities, the following is required:
- (a) Access for people with disabilities must be provided from the basement carpark to the ground level entry to villas/townhouses.
  - (b) Stairways required to take lifts shall be a minimum finished width of 1.5m in order to allow clearance for egress past the stair lift.
  - (c) Structural wall positions to lift shafts shall be shown which are able to accommodate a lift large enough for use for a person in a wheelchair.
  - (d) 2.5m clear headroom is required above all basement car spaces.
  - (e) Footpaths, or kerbs or driveways adjacent the site shall be formed to allow a person with a disability, who is a visitor to the site, to be able to park a vehicle on the street and make his/her way onto a sealed footpath.
  - (f) Consideration should be given to use of a lift for multi-level buildings in order to make efficient use of space.

**Access to Communal Garden Space**

- 6.8 In order to achieve equitable access to communal gardens in flat developments for people with disabilities, the following is required:
- (a) Where there is communal open space on the site, it must be accessible from all dwellings required to have a universal accessible design, and by all visitors to the site.
  - (b) Where there is a requirement to have communal open space on the site, the site plan shall show:
    - pathways to and within the garden and that persons with disabilities are able to use that space;
    - location of vegetation.

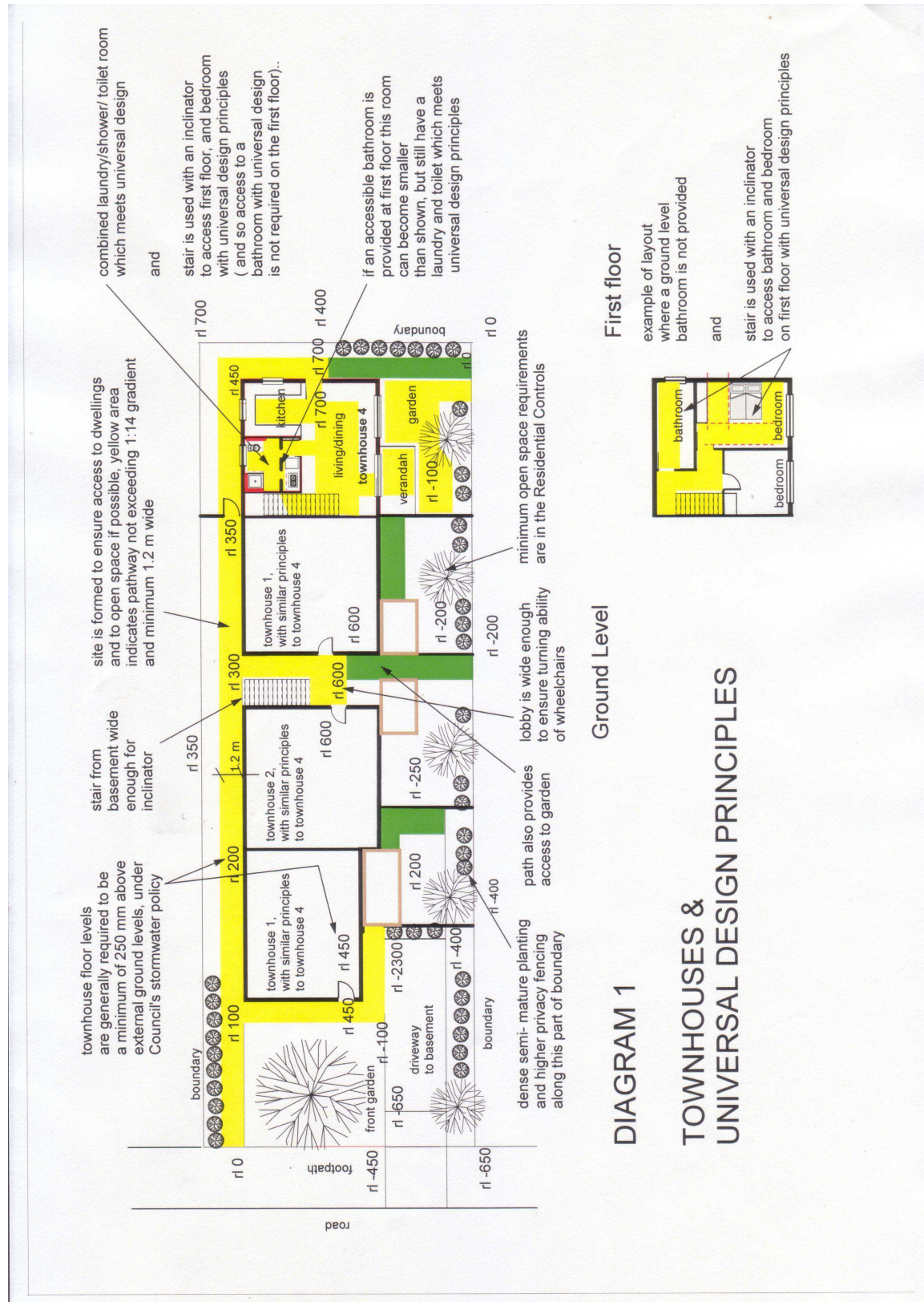
**Conceptual Diagrams For Design - Checklist 1**

- 6.9 The following diagrams illustrate the design principles of Design Checklist 1 for:

Diagram 1 Townhouses (Villas incorporate similar principles )

Diagram 2 Low Rise Flats and external access principle

**Note:** The diagrams show the principles of, and how to generally comply with Universal Accessible Design requirements. They are not intended as “designs for copying”. Applicants may choose to provide an expert Access Consultant’s report to explain how Universal Accessible Design requirements have been met.



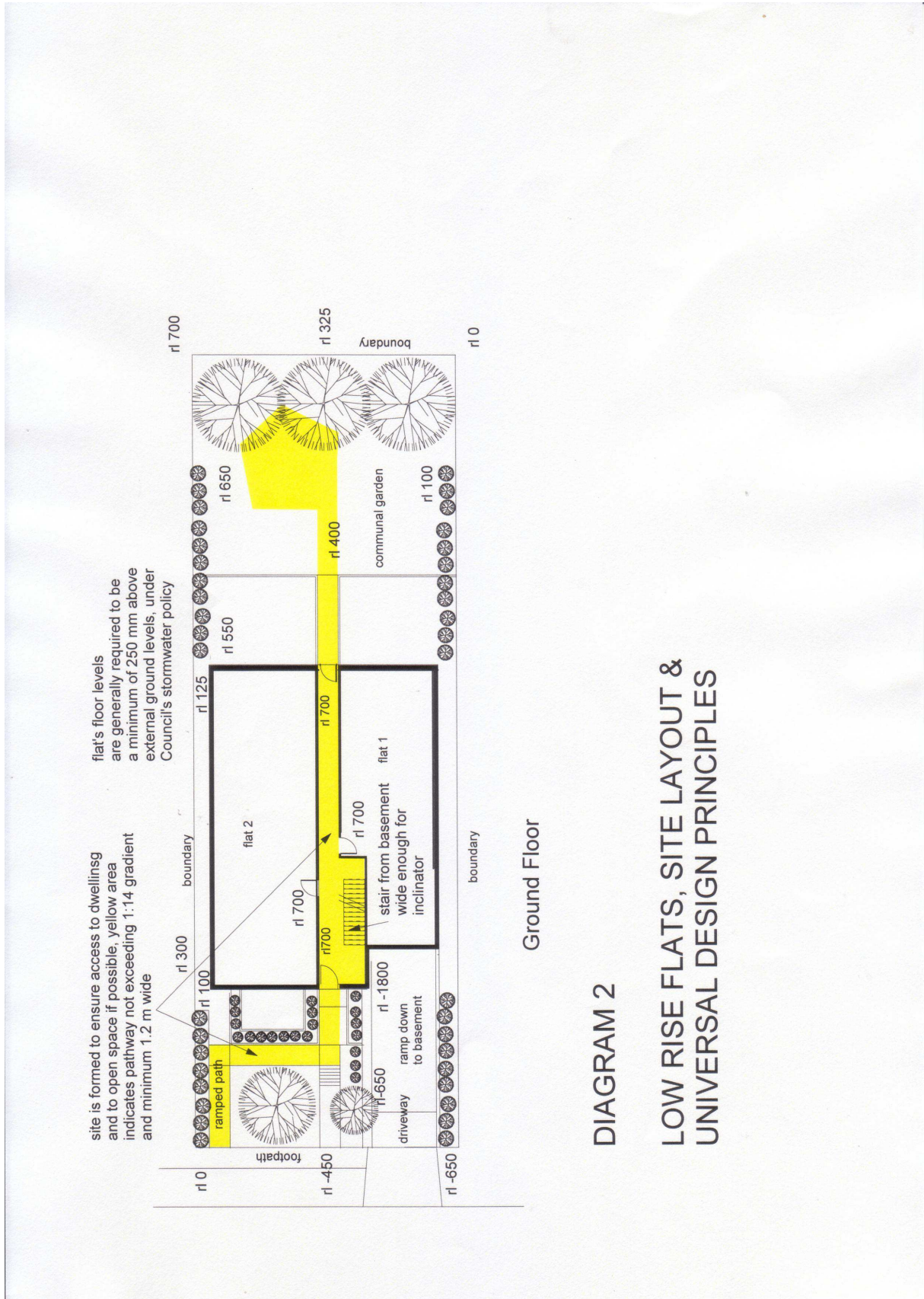


DIAGRAM 2

LOW RISE FLATS, SITE LAYOUT & UNIVERSAL DESIGN PRINCIPLES



**SECTION 7 DESIGN - CHECKLIST 2 - MIXED DEVELOPMENT (APARTMENT BUILDINGS) IN BUSINESS ZONES****Scope**

- 7.1 **Design Checklist 2** applies to residential flat buildings higher than 3 storeys , with ground level “business” uses and lifts and located in Business Zones .

**Universal Accessible Design**

- 7.2 All apartments affected by clause 7.1 shall be accessible as required in the Building Code of Australia, and in addition have a universal design applied to the interior design of the dwellings which meets the requirements of Section 7.

**Construction**

- 7.3 In order to achieve an “implementation principle”, i.e. to carefully consider design issues at Development Application stage so as to also ensure at construction certificate stage that compliance is achieved, the following is required:
- (a) All designs must show internal dimensions which show the line of finished surfaces, with dimensions that have taken into account building construction tolerances and finishes to walls and other structural elements. This will require showing dimensioning on plans that goes beyond the theoretical minimum shown in the Australian Standards, and take into account pragmatic construction matters.
  - (b) All designs must show the general location of structural walls which will be able to take future fittings, including but not limited to:
    - Shower, bathroom and toilet grab rails;
    - Stair (lift/inclinator).
  - (c) All designs must show the location of non-structural walls that are removable for the purpose of creating adaptable housing. They must show the location of structural beams and headroom clearances.
  - (d) Council will apply conditions to development consent to require compliance with clauses (b) and (c) in order to have sufficient detail documented at construction certificate stage, and so have the works constructed as depicted.

**Access from Street to Dwelling Entry**

- 7.4 In order to achieve the “visitability principle” of access from the street into the lift lobby area, to lifts and to apartments entries; the proposal shall show the requirements of the Building Code of Australia can be satisfied and include consideration of the following:
- (a) A continuous path of accessible travel from the street to lift lobbies.

- (b) Lift shafts sizes shall be shown to be the minimum required be able to take a lift which is large enough to accommodate a person in a wheelchair.
- (c) The lift lobby shall have a minimum clear finished circulation width of 1500mm, and which takes into account wall finishes and building tolerances.
- (d) An intercom shall be provided at the visitor parking level and external ground level entry point, to allow visitors to enter the apartment lobbies. Details of the intercom shall be shown or referenced on the plans, the proposal shall show that the requirements of the Building Code of Australia can be satisfied and include consideration of the following;

### Interior Dwelling Design

7.5 In order to achieve an interior design layout which minimises the need for major internal structural alterations, the following is required:

- (a) There shall be a continuous path of travel from the entrance door to the living area, the dining area, the kitchen, laundry, bathroom and master bedroom, and any doorways shall have an 850 mm clear passage width, in order for a person in a wheelchair to be able to enter a room.
- (b) Circulation hallways shall be minimum clear finished dimension width of 1.2m that takes into account wall finishes and building tolerances.
- (c) Stairways required to take a stair lift/inclinor shall be a minimum clear finished width of 1.5m.
- (d) Floor levels shall be provided which show both the floor level of the interior of the dwelling and the level of any balcony or verandah, and that the level difference is small enough so as to be able to accommodate a device that allows access to the external space by a person in a wheelchair.
- (e) Minimum room dimensions shall be as follows:.

**Master Bedroom:** This shall be large enough to occupy a queen size bed and have circulation space around the bed of a minimum of 1.2 metres wide, and clear turning space of 2070mm x 1540 mm, after placement of wardrobes and dressing table.

**Kitchen** This shall be large enough to contain all necessary appliances and have a clear finished width between cabinet and furniture of 1.550 m.

**Living Room** This shall be large enough to allow a circulation space of 2250 diameter to allow a 360-degree turn by a wheelchair user after the furniture is in place.

**Bathroom** This shall be large enough to allow a circulation space by a wheelchair user after fixtures and furniture is in place, and with the shower being hobless.

Laundry	This shall be large enough to allow a circulation space by a wheelchair user after fixtures and furniture is in place, including allowing for the location of clothes dryer.
Combined Bathroom and Laundry	This shall be large enough to allow circulation by a wheelchair user after fixtures and furniture is in place.
Electrical Light Switches	Electrical light switches and power outlets shall be positioned to be accessible, be of a height range of 900 mm to 1100 mm off ground level and shown in plan.

### Access to Private Balcony

- 7.6 In order to achieve a usable balcony area for a person with a disability the following is required:
- (a) Balcony dimensions shall be sufficient to accommodate a person in a wheelchair being able to turn on the balcony including allowing an area for a small table and shall have a minimum internal width of 2.0m and minimum length of 3m.

### Access to Car parking

- 7.7 In order to achieve equitable access to a car park for people with disabilities the following is required:
- (a) Access to a basement car park lift is required including a waiting area outside the lift door which is a minimum clear dimension of 1.5m x 1.5m, and protected by bollards sufficiently strong to withstand impact from a car.
- (b) Visitor parking areas and basement car parking areas are required to have access to the lift for people with disabilities, including the following:
- Where there are split level basement car parking layouts, the relevant part of the car park that is on the same floor level as the lift shall ensure there is on-grade access to the lift for a person with disabilities.
  - Where there are split level car parks, the stair that takes the occupant to the floor containing the lift shall be wide enough to take a stair lift/inclinor and also allow for Building Code of Australia requirements for egress around the inclinor.

### Access to Communal Garden Space

- 7.8 In order to achieve equitable access to communal open space for a person with a disability the following is required:

- (a) Where there is communal open space on the site, it must be accessible by all dwellings required to have a universal accessible design, and by all visitors to the site.
- (b) Where there is a requirement to have a communal open space on the site, the site plan shall show:
  - the pathways to and within the garden and show that a person with disabilities is able to use that space;
  - the conceptual location of landscape vegetation.

**Access to Ground Level Commercial areas and circulation within Commercial Levels**

- 7.9 This shall comply with the Building Code of Australia and be demonstrated at development application stage.

**Conceptual Diagrams For Design - Checklist 2**

- 7.10 The following diagrams illustrate the design principles of Design Checklist 2 :

Diagram 3 Ground Level of "Mixed Development" /Residential Flats

Diagram 4 Podium Level of Flats

Diagram 5 Typical Residential Level of Flats

**Note:** The diagrams show the principles of, and how to generally comply with, Universal Accessible Design requirements. They are not intended as "designs for copying". Applicants may choose to provide an expert Access Consultant's report to explain how Universal Accessible Design requirements have been met.

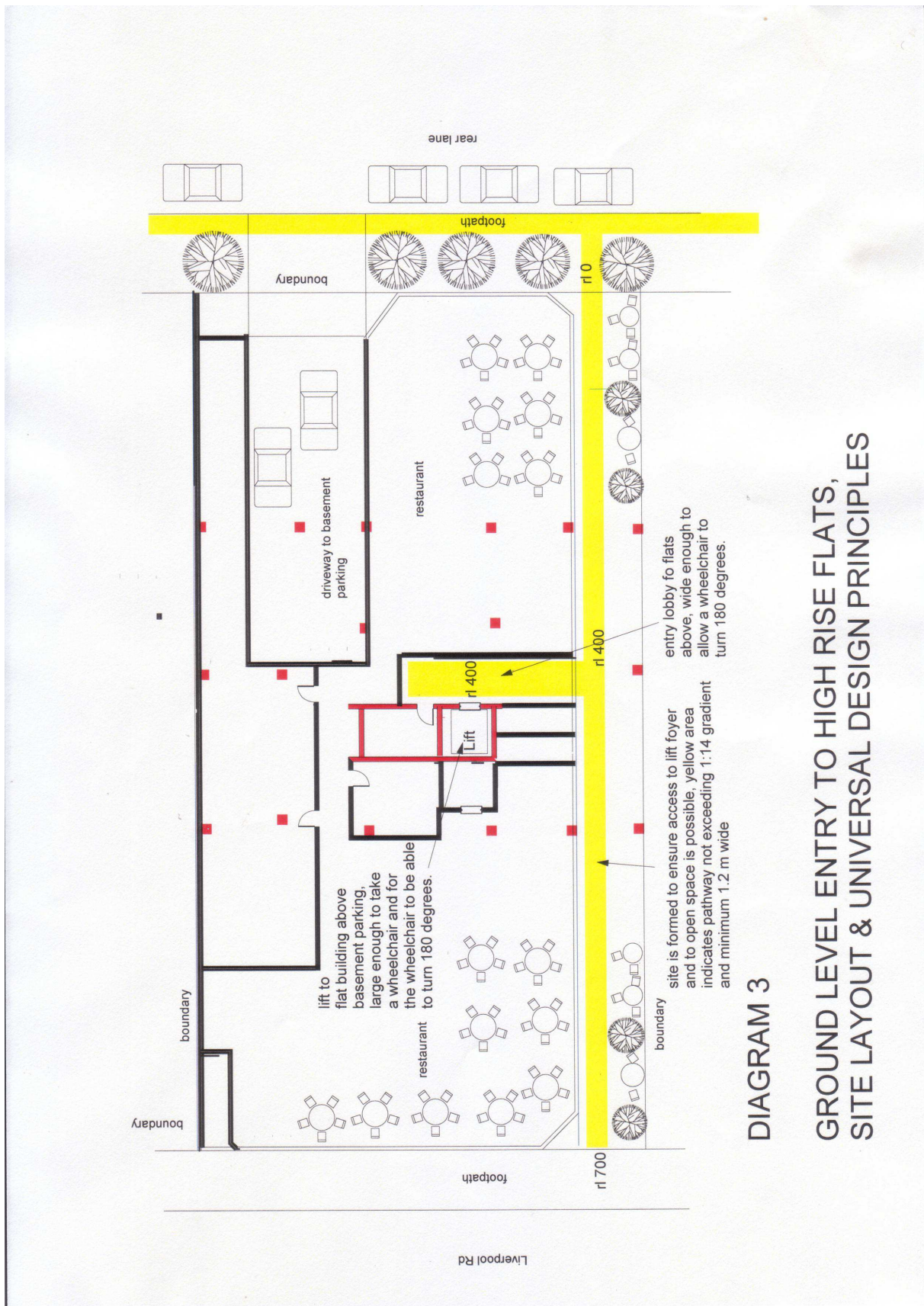
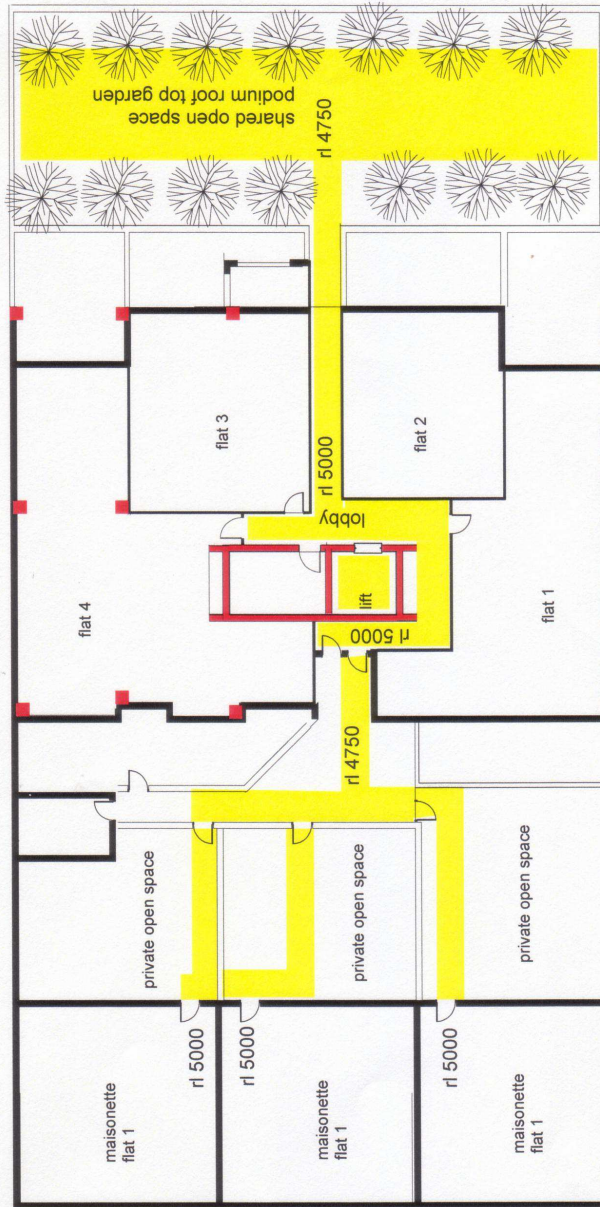


DIAGRAM 3

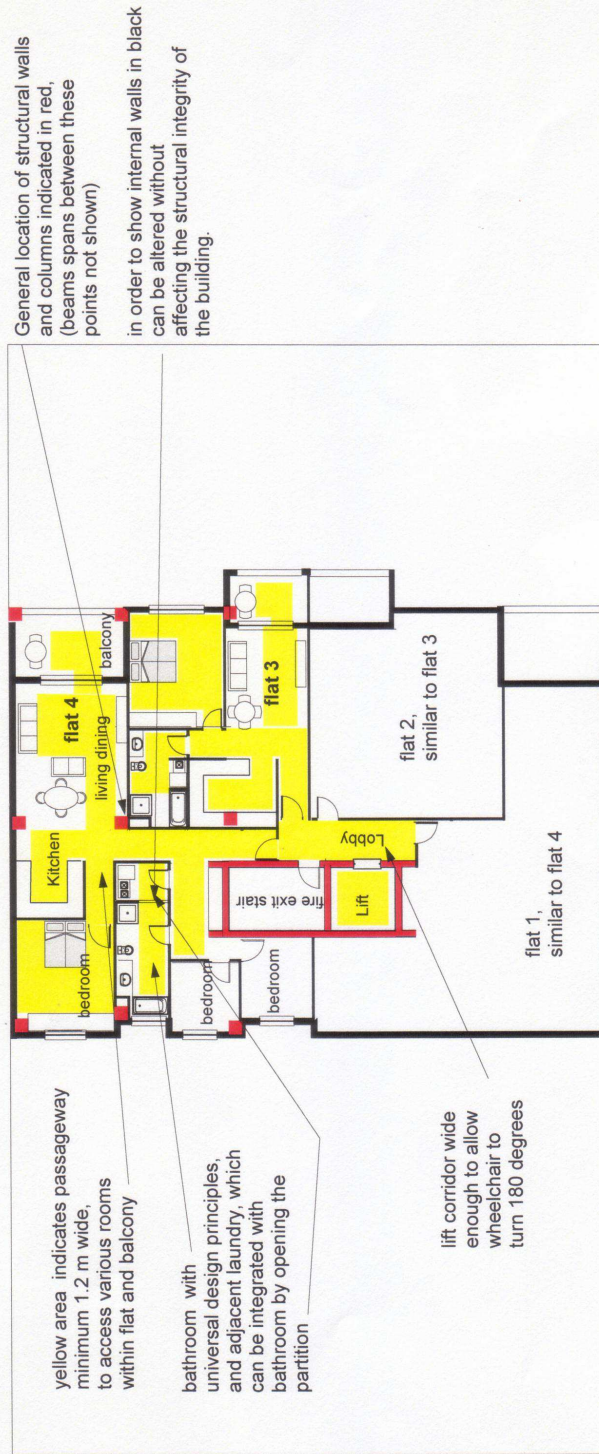
GROUND LEVEL ENTRY TO HIGH RISE FLATS,  
SITE LAYOUT & UNIVERSAL DESIGN PRINCIPLES



podium is formed to ensure access from lift foyer, to dwellings and to open space is possible. yellow area indicates pathway not exceeding 1:14 gradient and minimum 1.2 m wide

DIAGRAM 4

LEVEL 1 PODIUM HIGH RISE FLATS,  
ACCESS TO COMMON AREAS & DWELLINGS  
& UNIVERSAL DESIGN PRINCIPLES



**DIAGRAM 5**  
**TYPICAL FLOOR HIGH RISE FLATS,**  
**UNIVERSAL DESIGN PRINCIPLES**

**SECTION 8 UNJUSTIFIABLE HARDSHIP****Legislative Requirements**

For legislative requirements for Access refer to the Building Code of Australia. This sets out the requirements for Access, including the liability for a developer, designer, and assessor. In relation to *'unjustifiable hardship'* reference should be made by the applicant to the Disability Discrimination Act .

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**END**